

## SPECIAL USE PERMIT APPLICATION CHECKLIST

**INCOMPLETE APPLICATIONS WILL NOT BE SCHEDULED FOR PUBLIC HEARING.**

**APPLICATIONS:** Paper originals shall be unbound with two-hole punch at top of application. Copies shall be collated and bound into separate packets of the following:

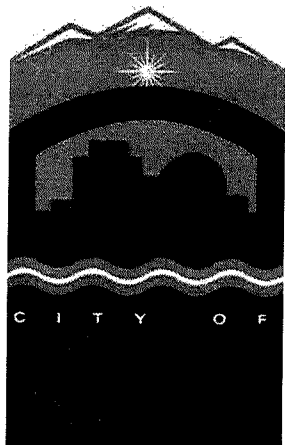
Applicant Complete and Correct	Item No.	ITEMS REQUIRED FOR GENERAL APPLICATION CHECKLIST	Staff
			Incomplete
<input checked="" type="checkbox"/>	1	Application Form(s)	<input type="checkbox"/>
<input checked="" type="checkbox"/>	2	Owner's Affidavit, Applicant Affidavit	<input type="checkbox"/>
<input checked="" type="checkbox"/>	3	Advisory Board information (optional)	<input type="checkbox"/>
<input checked="" type="checkbox"/>	4	8-1/2" x 11" Site Plan and the "Site Plan, Access and Circulation Checklist" (if applicable)	<input type="checkbox"/>
<input checked="" type="checkbox"/>	5	8-1/2" x 11" Color Zoning/Vicinity Map	<input type="checkbox"/>
<input checked="" type="checkbox"/>	6	24" x 36" Colored Display Map (1 copy only for original application)	<input type="checkbox"/>
<input checked="" type="checkbox"/>	7	24" x 36" Non-Colored Display Map	<input type="checkbox"/>
<input checked="" type="checkbox"/>	8	8-1/2" x 11" Color Building Elevations (if applicable)	<input type="checkbox"/>
<input checked="" type="checkbox"/>	9	24" x 36" Building Elevations (original to be in color) (if applicable. One copy for file)	<input type="checkbox"/>
<input checked="" type="checkbox"/>	10	24" x 36" Preliminary Grading & Drainage Plan and Checklist (if applicable)	<input type="checkbox"/>
<input checked="" type="checkbox"/>	11	24" x 36" Preliminary Utility Plan and Checklist (if applicable) – may be part of the site/grading plan.	<input type="checkbox"/>
<input type="checkbox"/> N/A	12	Preliminary Hydrology Report and Checklist (if applicable)	<input type="checkbox"/>
<input type="checkbox"/> N/A	13	Preliminary Geotechnical Report (if applicable)	<input type="checkbox"/>
<input type="checkbox"/> N/A	14	Preliminary Sewer Report and Checklist (if applicable)	<input type="checkbox"/>
<input checked="" type="checkbox"/>	15	24" x 36" Preliminary Landscape Plan and Checklist (if applicable) - may be part of the site plan	<input type="checkbox"/>
<input type="checkbox"/> N/A	16	Traffic study as required by RMC 18.12.903	<input type="checkbox"/>
<input type="checkbox"/> N/A	17	Handicap parking spaces and regular parking space calculations	<input type="checkbox"/>
<input checked="" type="checkbox"/>	18	Information on signage (size, location, number & type)	<input type="checkbox"/>
<input type="checkbox"/> N/A	19	Exterior lighting (include site photometric plan-if applicable)	<input type="checkbox"/>
<input checked="" type="checkbox"/>	20	Supporting Information including a written analysis of applicable findings listed under SPECIAL USE PERMIT PROCEDURES	<input type="checkbox"/>
<input checked="" type="checkbox"/>	21	Check or Money Order	<input type="checkbox"/>
<input checked="" type="checkbox"/>	22	Project of Regional Significance Analysis (if applicable)	<input type="checkbox"/>

\* Fold all 24" x 36" maps to approximately 9" x 12"\* Map scale shall not exceed 1 inch = 60 feet  
\*\*Original paper application, one paper copy and fifteen digital copies on CD are required for this application\*\* Additional copies may be requested

**Notice:**

- Depending on the project, not all of the checklists may be needed. Please submit only the completed required documents. Please call (775) 334-2042 with any questions.
- Please **do not submit** to the City of Reno any of the **application procedures**. These procedures are informational only and are not be included with the submitted application.

**CITY OF RENO**  
**APPLICATION FOR SPECIAL USE PERMIT**



For Community Development Department Use Only:

CASE NUMBER:

Date Received \_\_\_\_\_  
Time Received \_\_\_\_\_

PROJECT NAME: Sizzle Pie / The Black Crystal

PROJECT DESCRIPTION: Restaurant and Bar

PROJECT ADDRESS: 190 S Center St, Reno NV 89501

PROPERTY SIZE: 6,800 sf ASSESSOR'S PARCEL NO(S): 011-178-01

ZONING - EXISTING: MUDR PROPOSED: Same

MASTER PLAN - EXISTING: DRRC/CALI PROPOSED: Same

EXISTING LAND USE: Vacant Liquor Store Building

PROPERTY OWNER(S)

NAME: Center & Pine Investments, LLC

ADDRESS: 550 California Ave  
Reno, NV 89509

PHONE: 775-624-3550

APPLICANT/DEVELOPER(S)

NAME: Bob Peyton

ADDRESS: 3439 NE Sandy Blvd #279  
Portland, OR 97232

PHONE: 503-516-1423

FAX NO: N/A

PERSON TO CONTACT REGARDING APPLICATION:

NAME: Garrett Gordon

(IF SAME AS OWNER OR APPLICANT, PLEASE INDICATE)

ADDRESS: 50 W Liberty St., Suite 410  
Reno, NV 89501

PHONE: 775-321-3420

FAX NO: 775-321-5569

E-MAIL ADDRESS: ggordon@lrrc.com

The City of Reno will direct all mail on this project to the contact person designated above.  
**The above information is required.**

**CITY OF RENO  
SPECIAL USE PERMIT APPLICATION**

The owner or duly authorized agent of the owner of the property herein described requests the Planning Commission of the City of Reno to approve a special use permit for the use described herein.

PROJECT NAME:

**Sizzle Pie / The Black Crystal**

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PROJECT DESCRIPTION:

**To establish extended hours of operation for a restaurant and bar.**

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PROVIDE A DESCRIPTION OF THE SPECIAL USE PERMIT REQUESTED (Including type of activity, number of employees, description of structures to be built/used, etc):

**We are a late night pizzeria serving slices, whole pies, salads, etc. Attached and in the same building as a bar serving beer, cocktails and pizza from pizza from the restaurant. Our hours are from 11am - 3am Sunday-Thursday and 11am - 4am Friday and Saturday. We have approximately 40-45 employees.**

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**We will be building out an existing 3,000sq. ft. building on the property.**

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IDENTIFY THE IMPACTS OF THE PROPOSED USE ON ADJACENT LAND USES AND PUBLIC FACILITIES (Such as noise, traffic generation, hours of operation, odors, smoke, dust):

**Noise will be limited primarily to our indoor operations.**

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**However we are proposing a roof top patio with limited hours (closure at 10pm weekdays; 12am weekends).**

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ENVIRONMENT:

- 1) Is the project situated on steep or severe terrain (15.1% or greater) and/or does this application trigger a Special Use Permit for Hillside Development?

No

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- 2) Will the project disturb areas within or adjacent to wetlands, stream environments, major drainageways, or significant hydrologic resources? YES  NO

(If so, explain the impact(s) and describe proposed mitigating measures. Such environmentally sensitive areas must be shown on the subdivision map.)

N/A

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- 3) Describe the methods for stabilization and/or revegetation of exposed and disturbed soils due to proposed grading activities:

N/A

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Does the project trigger an SUP for residential adjacency? If yes, explain how and refer to section for submittal requirements.

N/A

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Is the project an expansion of an existing facility? Please indicate existing and proposed acreages and square footages.

N/A

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4) How does this project incorporate green technologies to reduce energy consumption into the site, building, and landscape design?

Landscaping front of building and planning plants on roof top deck. We will use LED bulbs wherever possible( See ceiling plan). We also compost all food waste.

UTILITIES:

WATER:

IS A CONCEPTUAL WATER SUPPLY AND CONVEYANCE STUDY INCLUDED WITH THIS APPLICATION? No

(If no, provide an explanation)

N/A

Indicate the source of water, water purveyor, and the estimated water demand for the project:

N/A

SEWER:

IS A PRELIMINARY SEWER REPORT INCLUDED WITH THIS APPLICATION? No

(If no, provide an explanation):

N/A

- 1) Indicate which entity and facility will provide sewer collection and treatment and provide an estimate of the project generated sewage contribution:

N/A

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- 2) Provide a description of the size, location, and ownership of existing and proposed sewer lines connecting to sewer lines of the sewage treatment provider:

N/A

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ALL OTHER UTILITIES:

ARE POWER LINE RELOCATIONS PROPOSED FOR THIS PROJECT? No

(If yes, provide an explanation):

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Provide a description of the type and ownership of existing and proposed public and quasi public utilities proposed to serve the project:

NV Energy

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TMWA

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Waste Management

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TRAFFIC:

IS A PRELIMINARY TRAFFIC STUDY INCLUDED WITH THIS APPLICATION? No

(If no, provide an explanation):

N/A

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- 1) Provide peak hour and average daily traffic volume generation estimates for the proposed project.

N/A

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- 2) Identify potential impacts to existing and proposed streets, intersections, and major transportation corridors affected by the project and describe mitigation measures proposed:

N/A

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PUBLIC AND EMERGENCY SERVICES:

Provide the location and source of garbage disposal, police, fire, and emergency medical service providers and describe potential impacts the project may have upon the capacity of these service providers:

N/A

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WILL THE PROPOSED USE GENERATE HAZARDOUS WASTE? No

1. If the applicant has never operated a facility which generates hazardous waste, a letter stating such; or



2. If the applicant has operated a facility which generates hazardous waste, a letter including the name and location of any and all facilities the applicant has operated which generate hazardous waste. This letter must include a disclosure of any citations or correction notices issued against such facility and their status or disposition.

WILL THE PROPOSED USE INVOLVE ANY EXPLOSIVE MATERIAL AS DEFINED IN NRS 459.3816 AND NRS 459.38332? NO

(If so, identify the materials, quantities stored on site, safety precautions which will be taken and method of disposal.)

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**Public Comments (Initials)** Applications with missing plans and chemicals including components of plans and chemicals will be deemed incomplete and returned within three (3) days of application. Comments and questions will not be scheduled for public hearings. The applicant must consult with Community Development Staff prior to submitting an application to avoid the above information. In the event the information has been provided for a public hearing, Applicant information may be requested through the staff and hazard mapping and the review process.

# Washoe County Quick Map

[190 S Center](#)

**APN:** 011-178-01 [Click to zoom](#)

**First Name:** CENTER & PINE

**Last Name:** INVESTMENTS LLC

**Address:** 190 S CENTER ST

**Area:** Reno

**Acres:** 0.156

**Bedrooms:** 0

**Baths:** 0

**Year Built:** 1966

**Zoning:** MUDR

**Tax District:** 1001

**Assessed Value 2017/2018:** 46123

**Gross Tax Subject to Abatement:** 1688.1

**Abated Tax:** 0

**Exempt Tax:** 0

**Final Tax 2017/2018:** 1688.1

**Subdivision:** LAKE'S ADDITION

**Location:** RENO

**Planning Area:** SOUTHWEST

**Elementary School:** MOUNT ROSE

**Middle School:** VAUGHN

**High School:** WOOSTER

**Fire District:** Reno FD

**Voter Precinct:** 3011 [Map](#) [Precinct](#)

**Senate District:** 13

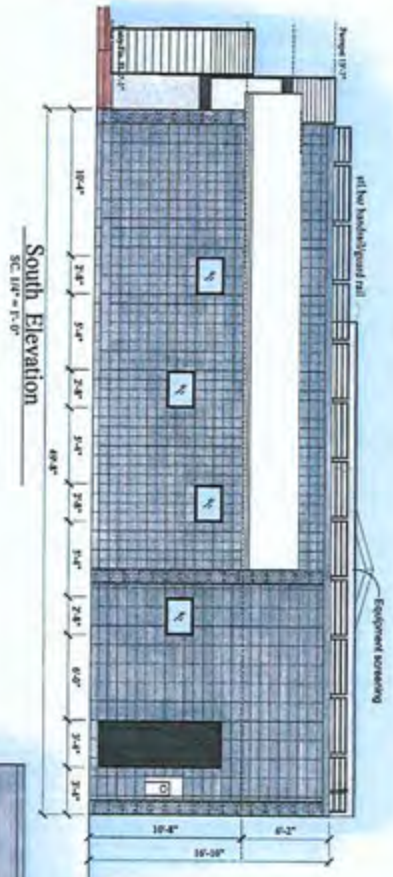
**Assembly District:** 24

**Board of**

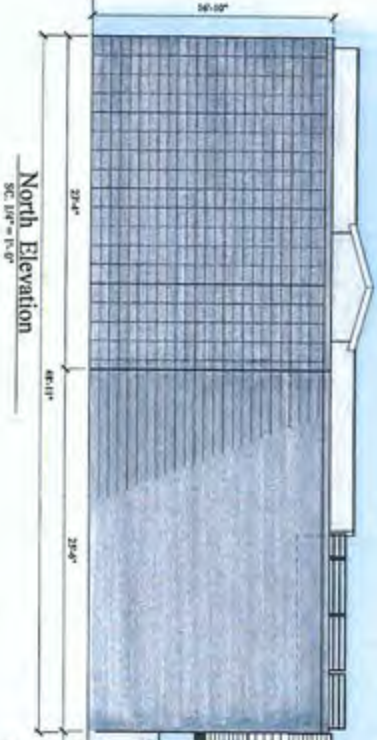
**Basem**







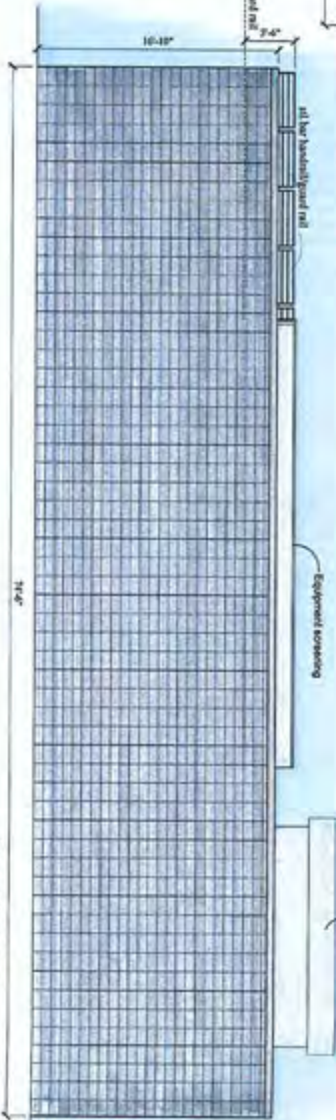
South Elevation  
SC. 114' = 1'-0"



North Elevation  
SC. 114' = 1'-0"



West Elevation  
SC. 114' = 1'-0"



East Elevation  
SC. 114' = 1'-0"

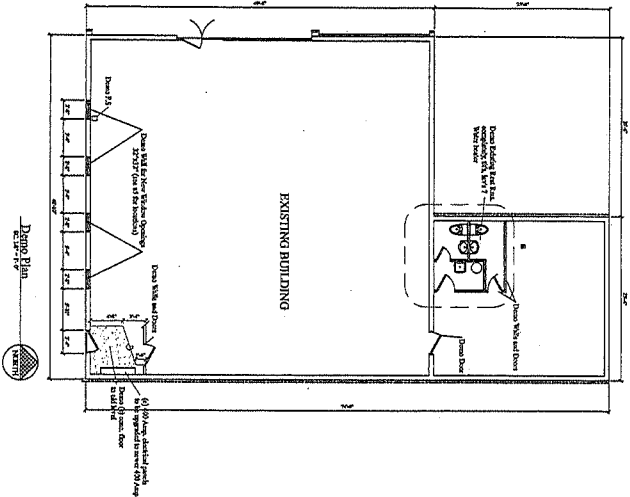
Architect By

JOSEPH W. SNIDER ARCHITECT  
2212 LONGWOOD DRIVE  
RENO, NV. 89509 (775) 827-8713

Sizzle Pie  
190 Center St.  
Reno, NV 89502

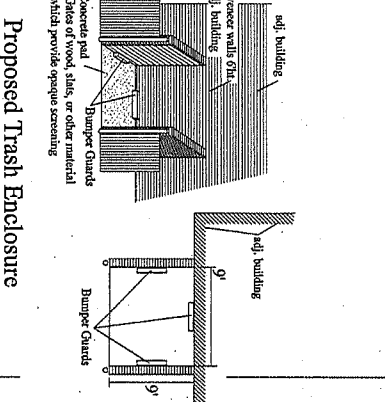
Arch 8.21.17

AS



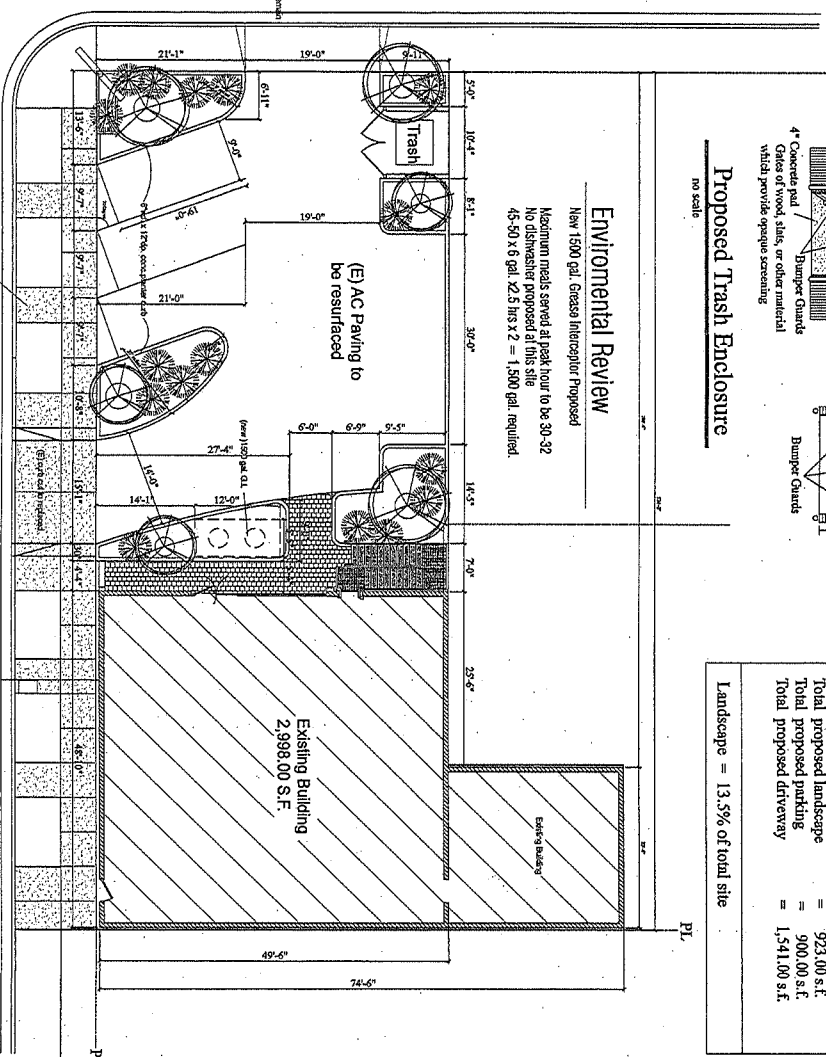
FEDERAL NATIONAL LANDMARKS  
 NATIONAL REGISTER OF HISTORIC PLACES  
 DISTRICT OF COLUMBIA  
 ADDRESS: 1508 CENTER ST  
 CITY: RENO, NV 89502  
 STATE: NV  
 COUNTY: WASHINGTON  
 NAME: CENTER A BLDG  
 ADDRESS: 1508 CENTER ST  
 CITY: RENO, NV 89502  
 STATE: NV  
 COUNTY: WASHINGTON  
 DISTRICT OF COLUMBIA

S. Center St.



Total Lot Size (1.56 ac)	= 6,799.36 s.f.
Total Buildings s.f. on site	= 2,998.47 s.f.
Total proposed landscape	= 923.00 s.f.
Total proposed parking	= 900.00 s.f.
Total proposed driveway	= 1,541.00 s.f.
Landscape = 13.5% of total site	

**Environmental Review**  
 New 1500 gal. Grease Interceptor Proposed  
 Maximum meals served at peak hour to be 30-32  
 No dishwasher proposed at this site  
 45-50 x 6 gal. x 2.5 hrs x 2 = 1,500 gal. required

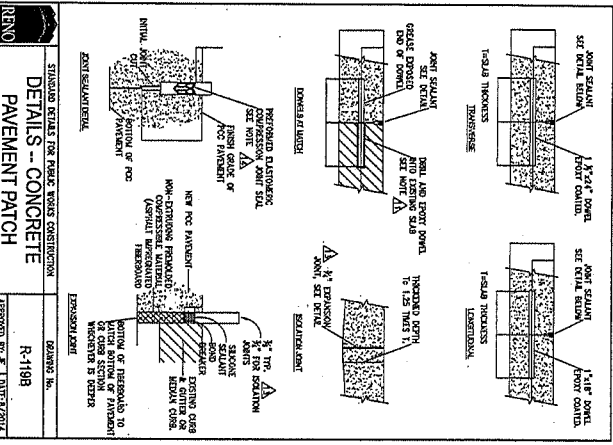
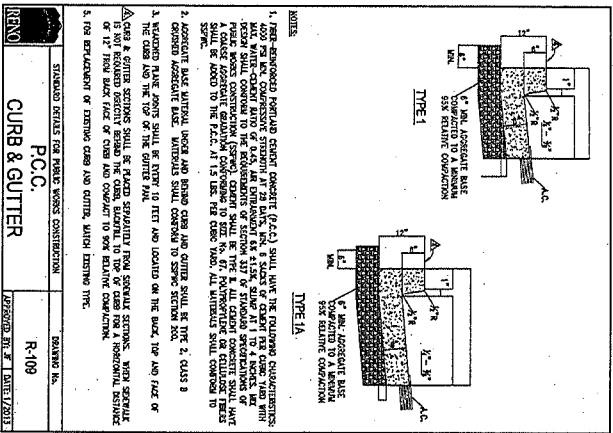


Repair Gutter & new Siterank under a separate permit see ad. 1 for std. City details.

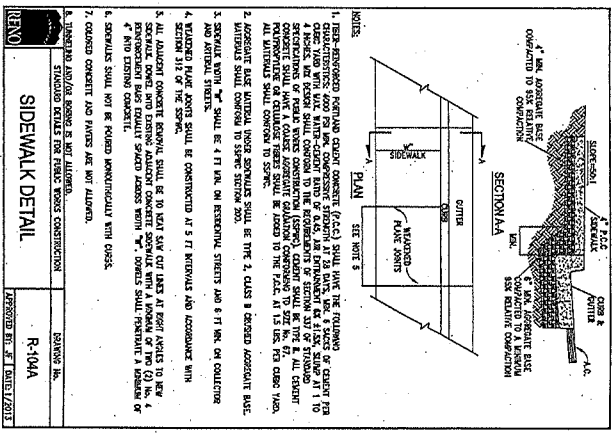
- Existing Buildings on site Sq. Ft.
- Main Building = 3,000 s.f.
  - Property S.S. = MUDR
  - Occupancy group = A2
  - Type VB = 2012 IBC



City std. curb dli. n.t.s.



City std. sidewalk dli. n.t.s.

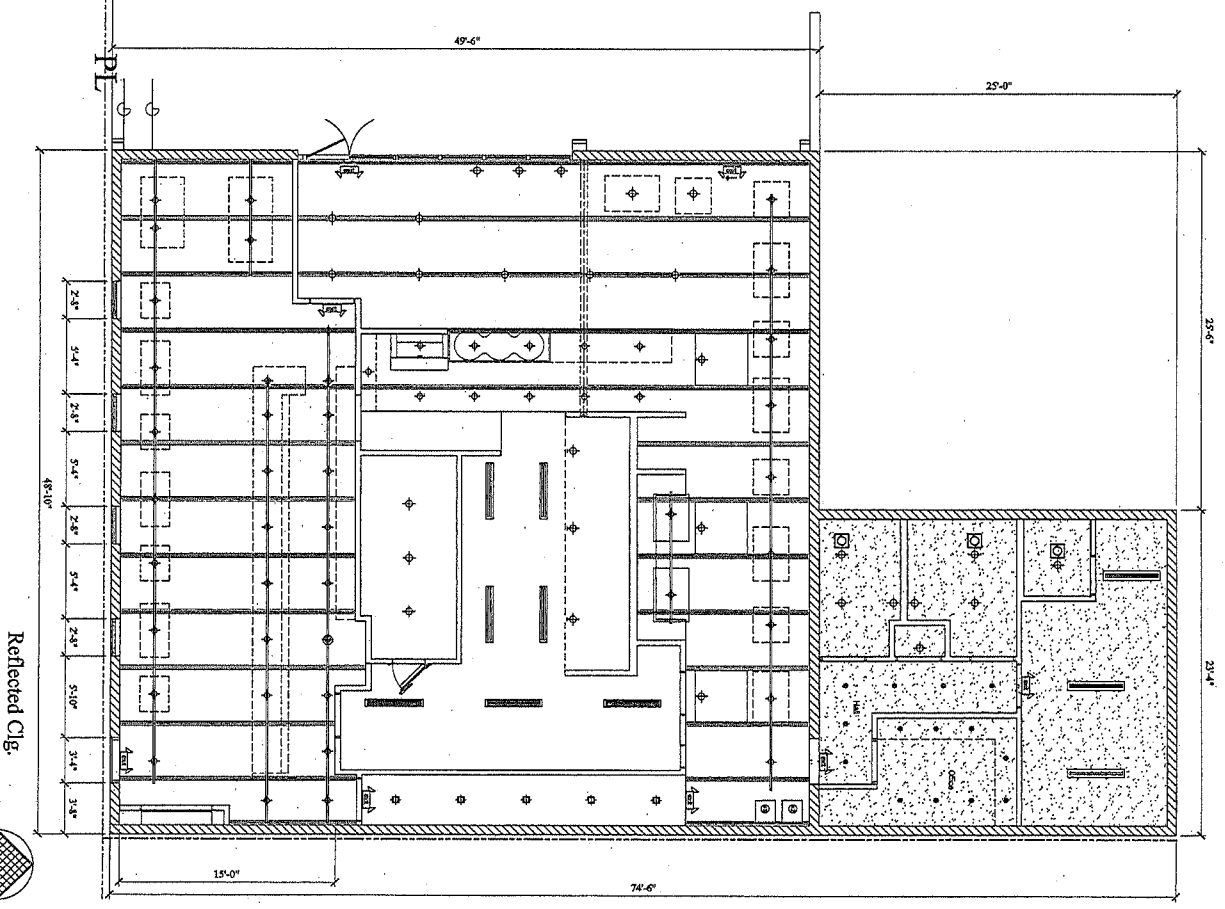
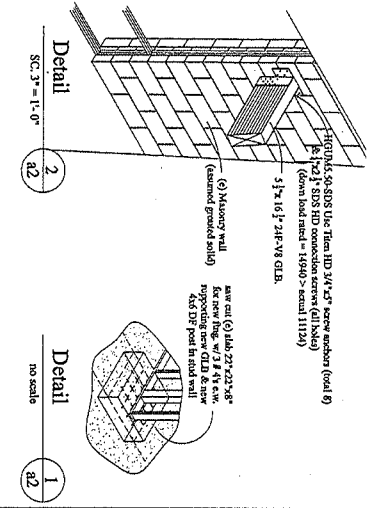
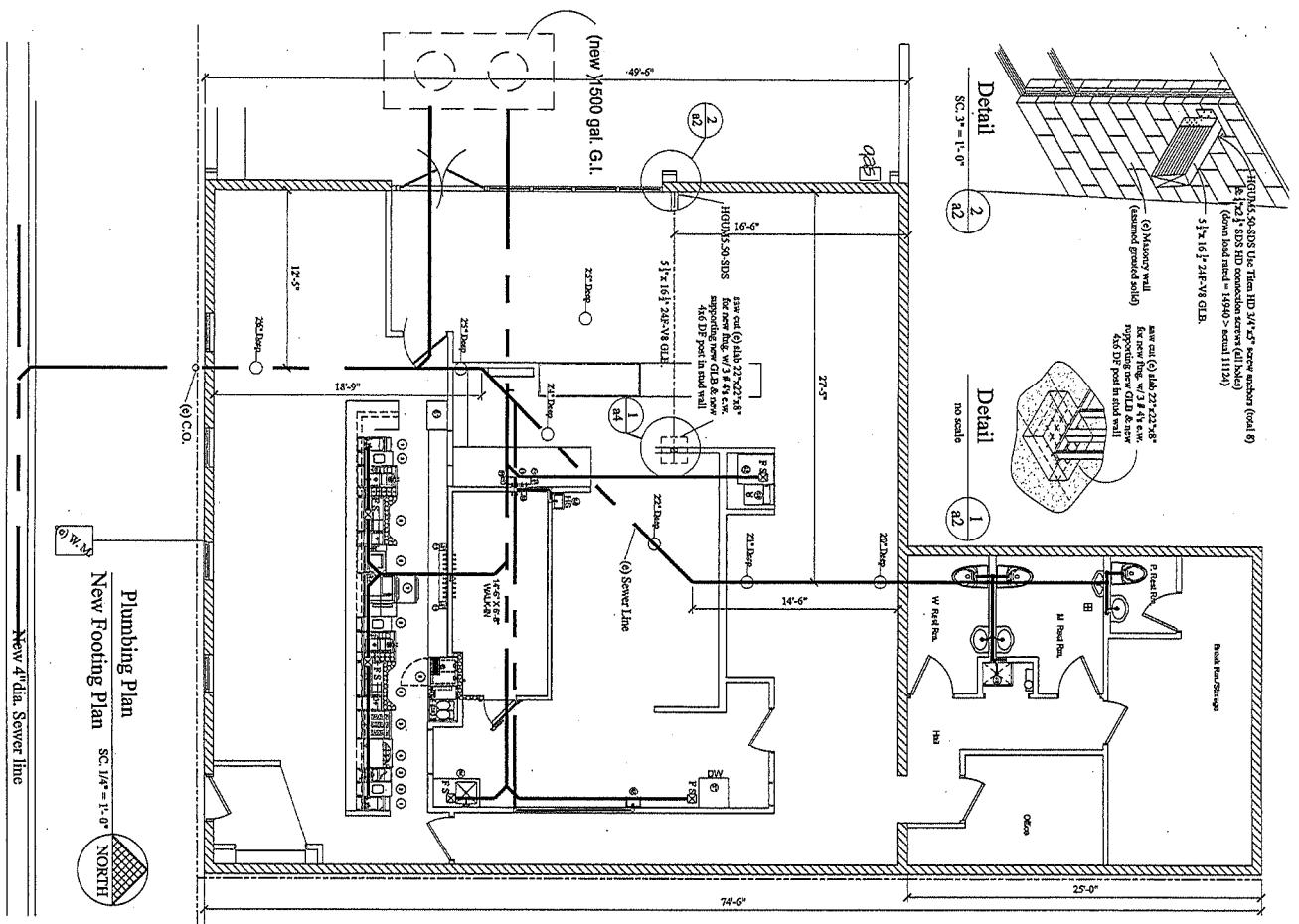


STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION  
**P.C.C. CURB & GUTTER**  
 DRAWING NO. R-109  
 APPROVED BY: J. SNIDER/2011

STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION  
**SIDEWALK DETAIL**  
 DRAWING NO. R-104A  
 APPROVED BY: J. SNIDER/2011

STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION  
**DETAILS - CONCRETE PAVEMENT PATCH**  
 DRAWING NO. R-1108  
 APPROVED BY: J. SNIDER/2011

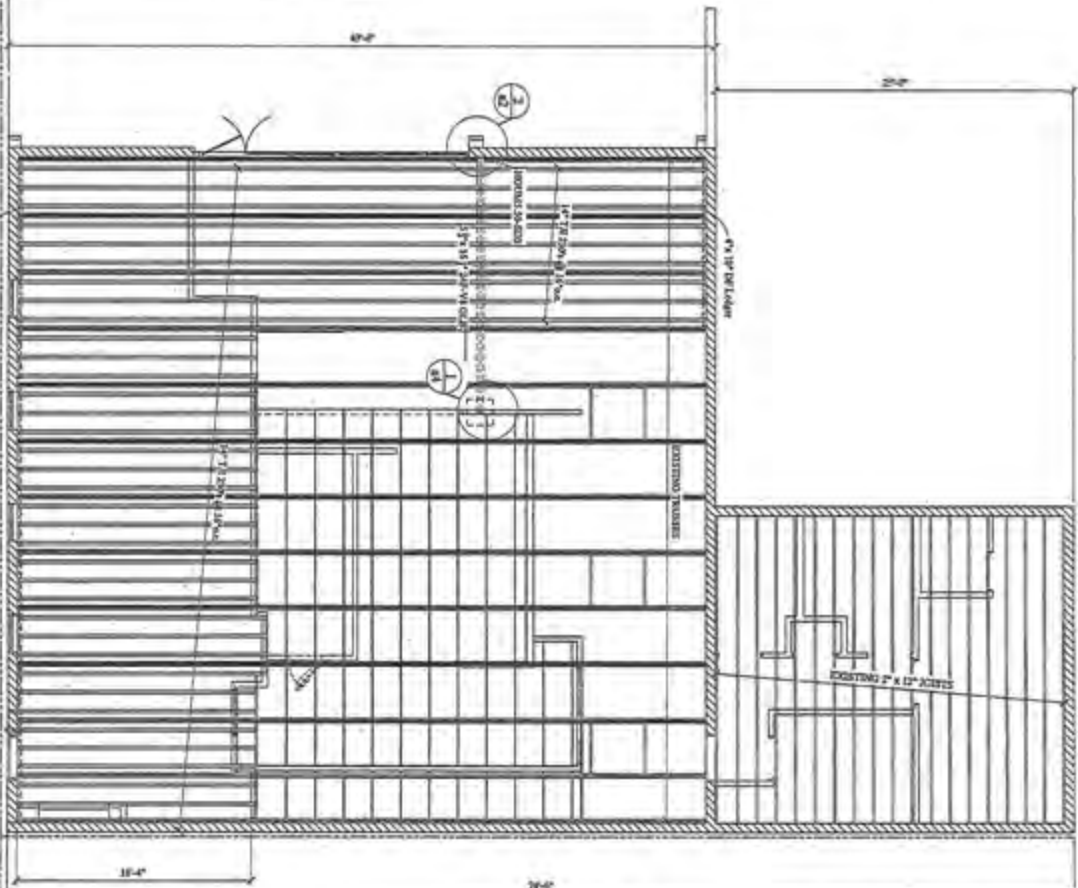
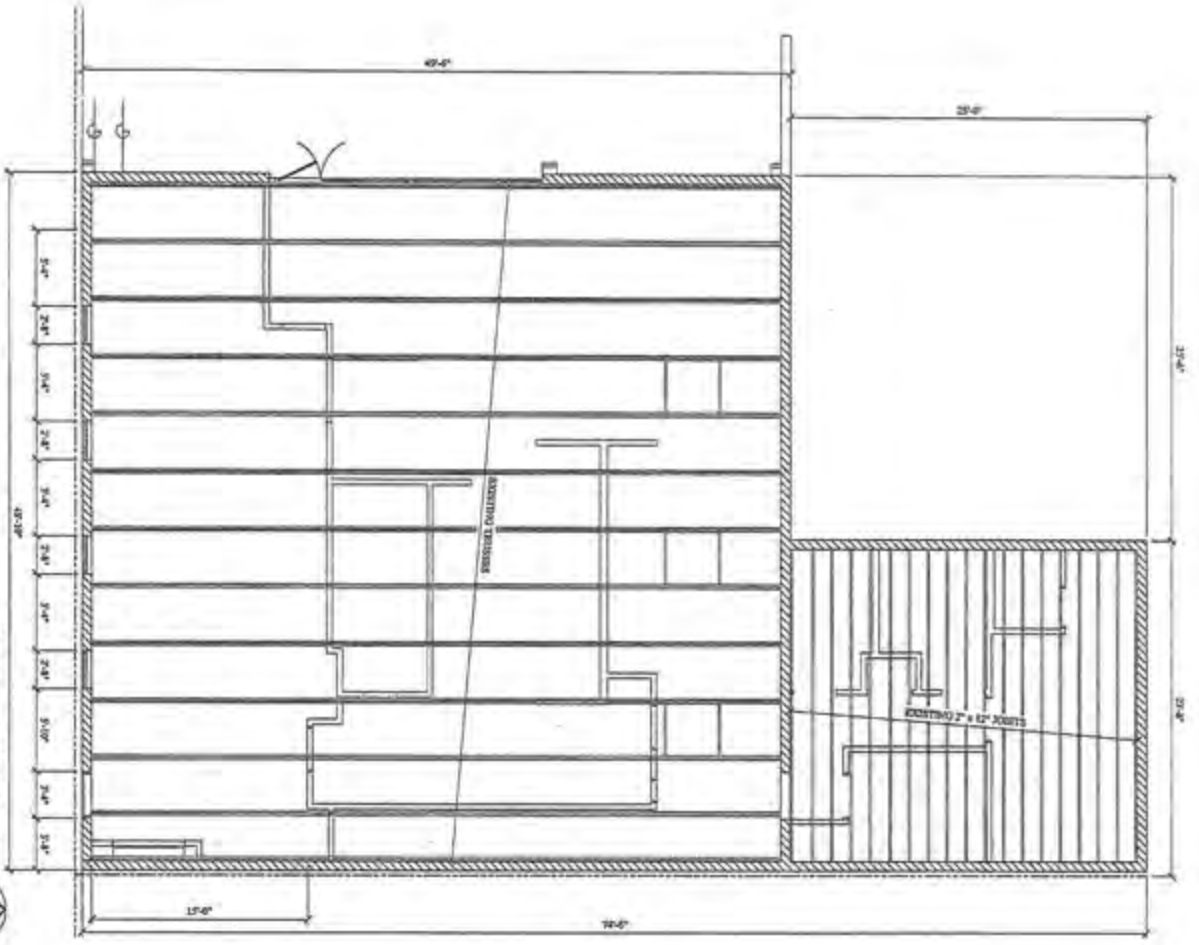
STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION  
**CONCRETE PAVEMENT PATCH**  
 DRAWING NO. R-110C  
 APPROVED BY: J. SNIDER/2011



Plumbing Plan  
 New Footing Plan  
 SC. 1/4" = 1'-0"  
 NORTH

Reflected Clg.  
 SC. 1/4" = 1'-0"  
 NORTH



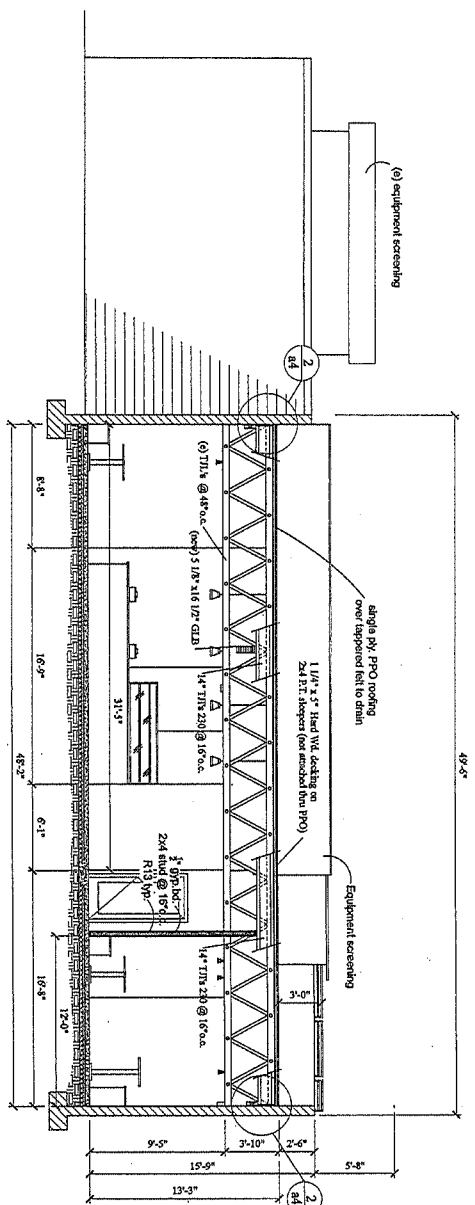


Sizzle Pie  
 190 Center St.  
 Reno, Nv 89502

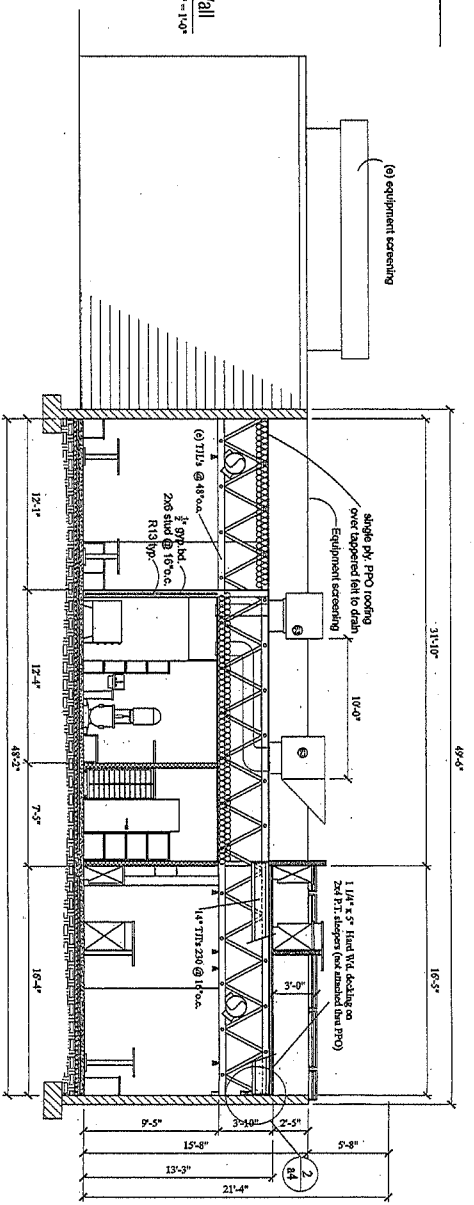
JOSEPH W. SNIDER ARCHITECT  
 2212 LONGWOOD DRIVE  
 RENO, NV. 89509 (775) 827-8713

Sheet No. 11

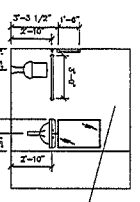
25



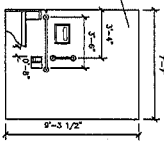
Section AA  
SC: 1/4" = 1'-0"



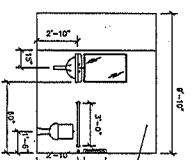
Section BB  
SC: 1/4" = 1'-0"



Women's ADA Restroom - North Wall  
Scale: 1/4" = 1'-0"

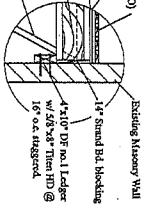


Women's ADA Restroom - West Wall  
Scale: 1/4" = 1'-0"

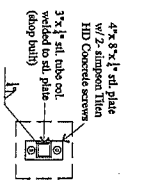


Men's ADA Restroom - South Wall  
Scale: 1/4" = 1'-0"

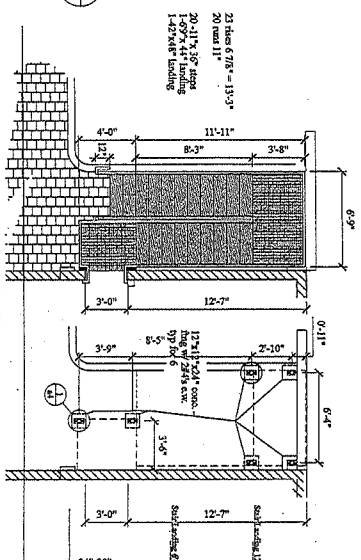
Men's ADA Restroom - West Wall  
Scale: 1/4" = 1'-0"



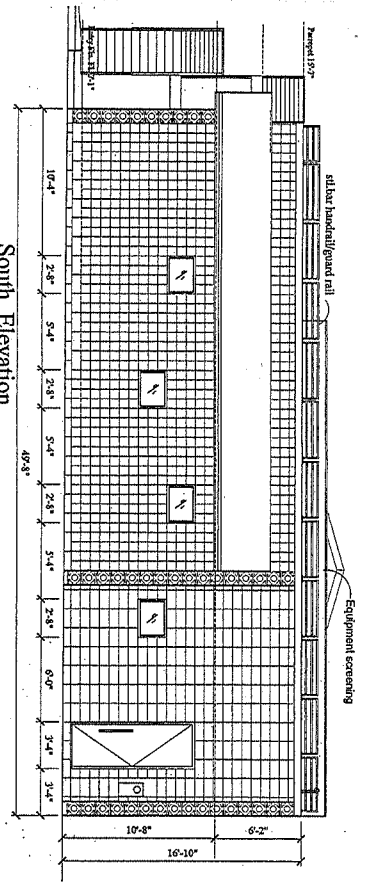
Detail 2  
SC: 1/2" = 1'-0"



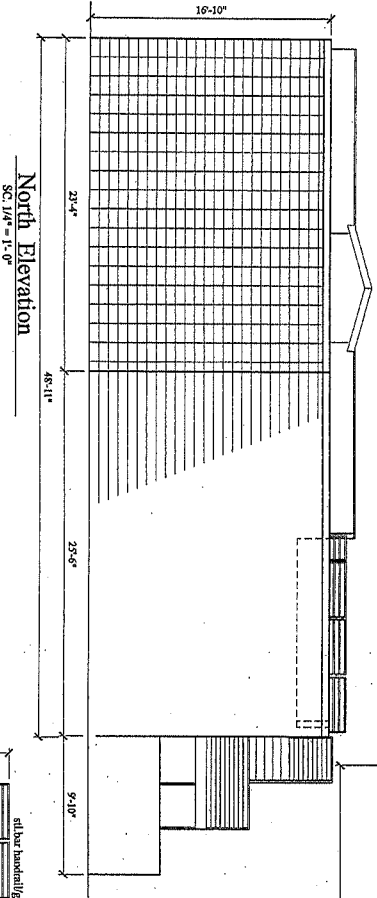
Detail 1  
SC: 3/4" = 1'-0"



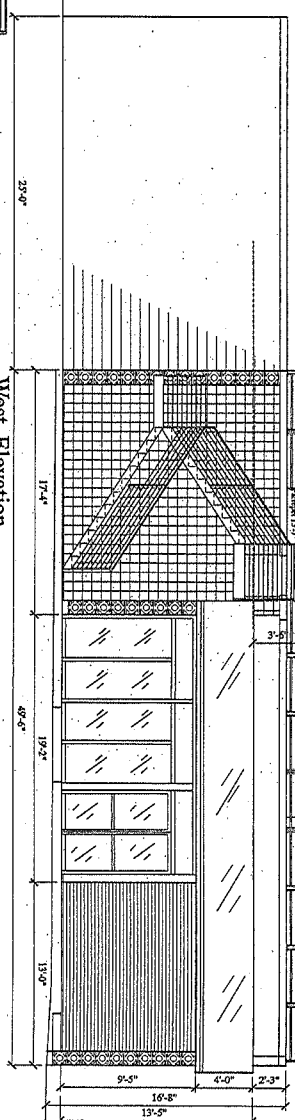
Steel Stair Details  
SC: 1/4" = 1'-0"



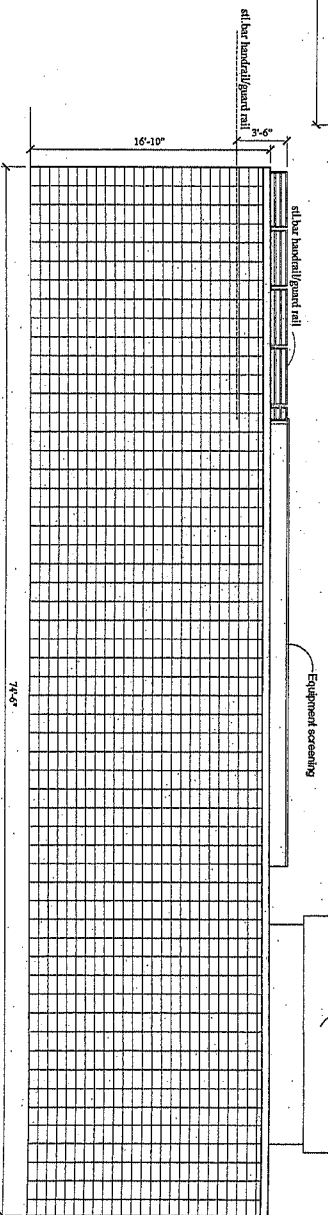
South Elevation  
SC. 1/4" = 1'-0"



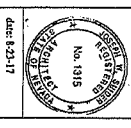
North Elevation  
SC. 1/4" = 1'-0"



West Elevation  
SC. 1/4" = 1'-0"



East Elevation  
SC. 1/4" = 1'-0"

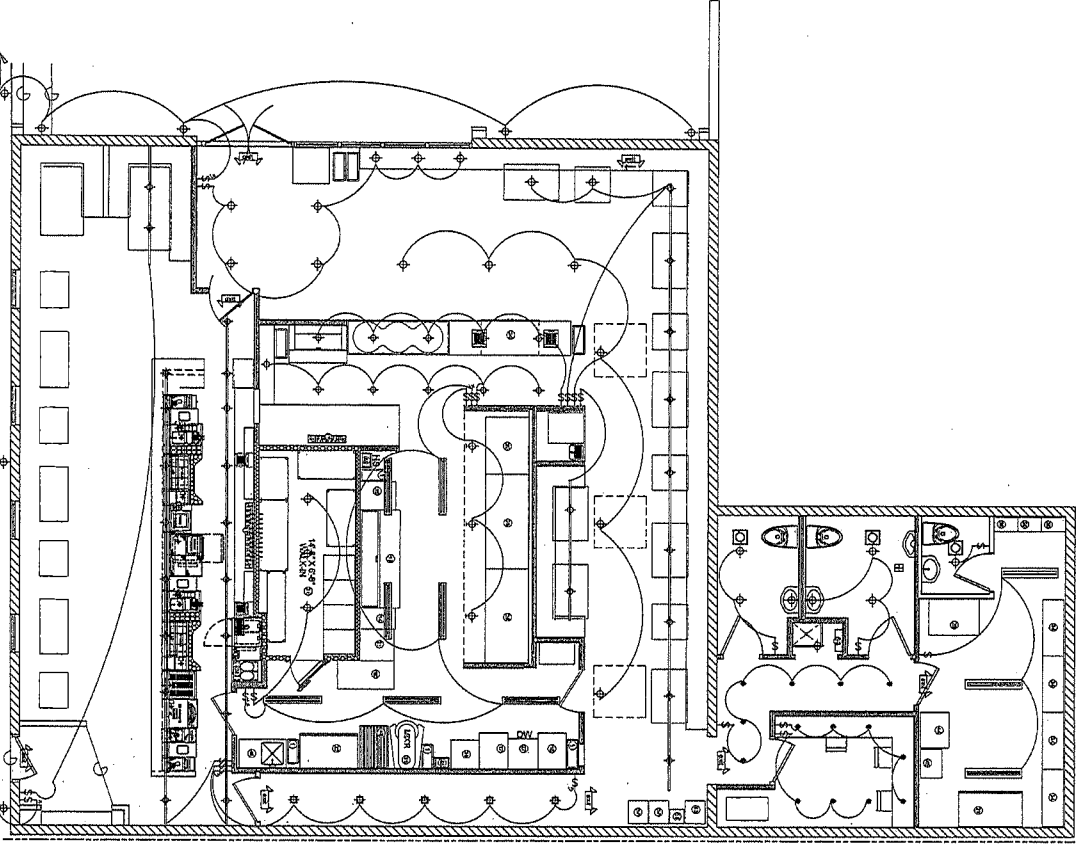


Sizzle Pie  
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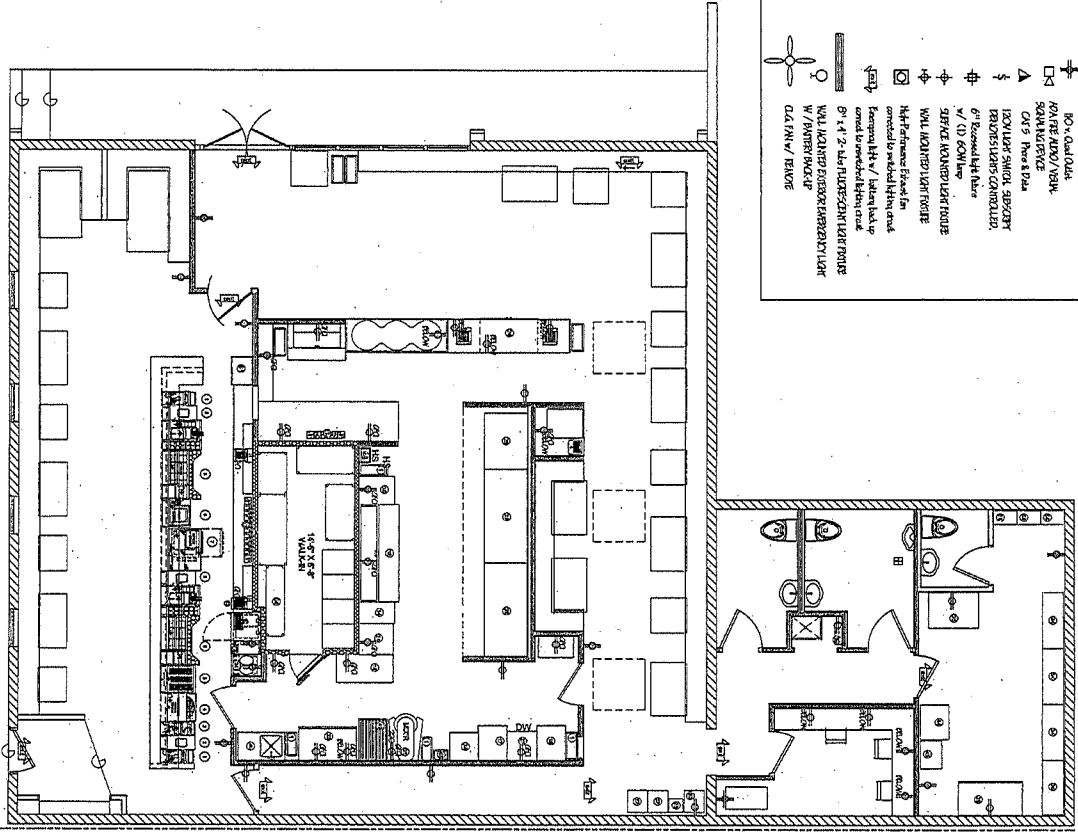
JOSEPH W. SNIDER ARCHITECT  
2212 LONGWOOD DRIVE  
RENO, NV. 89509 (775) 827-8713

Prepared By

Proposed Lighting Plan  
 SC: 1/4" = 1'-0"  
 NORTH

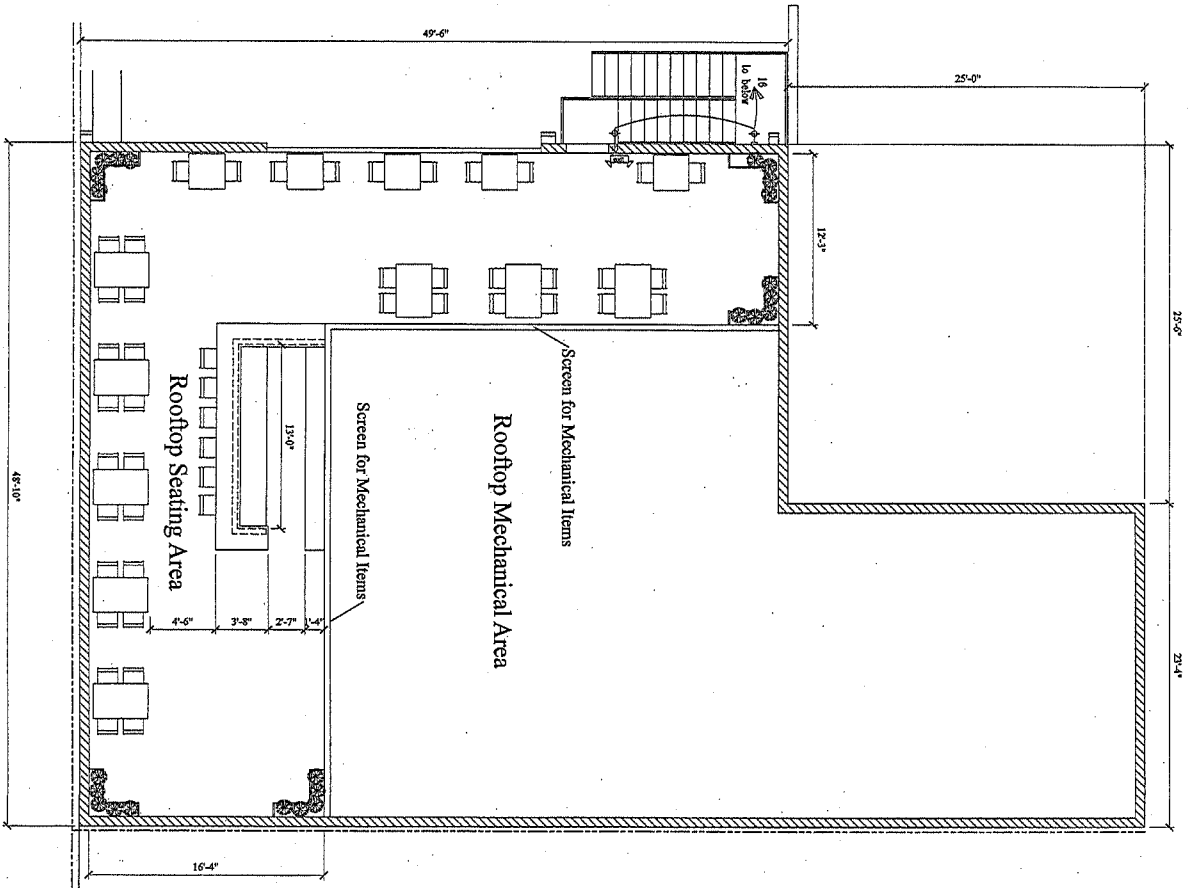


Proposed Electrical Plan  
 SC: 1/4" = 1'-0"  
 NORTH



Electrical Legend	
	80 Amp Outlet
	220V Outlet
	JBox
	JBox / 1K
	Ground Rod Ground Electrode
	10 Amp GFI Outlet
	15 Amp GFI Outlet
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	990 Amp GFI Outlet
	1000 Amp GFI Outlet

LOAD			LOAD DESCRIPTION			LOAD			LOAD DESCRIPTION			LOAD			
NO.	AREA	TYPE	UNIT	NO.	AREA	TYPE	UNIT	NO.	AREA	TYPE	UNIT	NO.	AREA	TYPE	UNIT
1	1000	ROOF	PSF	1	1000	ROOF	PSF	1	1000	ROOF	PSF	1	1000	ROOF	PSF
2	1000	MECH	PSF	2	1000	MECH	PSF	2	1000	MECH	PSF	2	1000	MECH	PSF
3	1000	SEAT	PSF	3	1000	SEAT	PSF	3	1000	SEAT	PSF	3	1000	SEAT	PSF
4	1000	STAIR	PSF	4	1000	STAIR	PSF	4	1000	STAIR	PSF	4	1000	STAIR	PSF
5	1000	WALL	PSF	5	1000	WALL	PSF	5	1000	WALL	PSF	5	1000	WALL	PSF
6	1000	CEILING	PSF	6	1000	CEILING	PSF	6	1000	CEILING	PSF	6	1000	CEILING	PSF
7	1000	FLOOR	PSF	7	1000	FLOOR	PSF	7	1000	FLOOR	PSF	7	1000	FLOOR	PSF
8	1000	MECH	PSF	8	1000	MECH	PSF	8	1000	MECH	PSF	8	1000	MECH	PSF
9	1000	MECH	PSF	9	1000	MECH	PSF	9	1000	MECH	PSF	9	1000	MECH	PSF
10	1000	MECH	PSF	10	1000	MECH	PSF	10	1000	MECH	PSF	10	1000	MECH	PSF
11	1000	MECH	PSF	11	1000	MECH	PSF	11	1000	MECH	PSF	11	1000	MECH	PSF
12	1000	MECH	PSF	12	1000	MECH	PSF	12	1000	MECH	PSF	12	1000	MECH	PSF
13	1000	MECH	PSF	13	1000	MECH	PSF	13	1000	MECH	PSF	13	1000	MECH	PSF
14	1000	MECH	PSF	14	1000	MECH	PSF	14	1000	MECH	PSF	14	1000	MECH	PSF
15	1000	MECH	PSF	15	1000	MECH	PSF	15	1000	MECH	PSF	15	1000	MECH	PSF
16	1000	MECH	PSF	16	1000	MECH	PSF	16	1000	MECH	PSF	16	1000	MECH	PSF
17	1000	MECH	PSF	17	1000	MECH	PSF	17	1000	MECH	PSF	17	1000	MECH	PSF
18	1000	MECH	PSF	18	1000	MECH	PSF	18	1000	MECH	PSF	18	1000	MECH	PSF
19	1000	MECH	PSF	19	1000	MECH	PSF	19	1000	MECH	PSF	19	1000	MECH	PSF
20	1000	MECH	PSF	20	1000	MECH	PSF	20	1000	MECH	PSF	20	1000	MECH	PSF
21	1000	MECH	PSF	21	1000	MECH	PSF	21	1000	MECH	PSF	21	1000	MECH	PSF
22	1000	MECH	PSF	22	1000	MECH	PSF	22	1000	MECH	PSF	22	1000	MECH	PSF
23	1000	MECH	PSF	23	1000	MECH	PSF	23	1000	MECH	PSF	23	1000	MECH	PSF
24	1000	MECH	PSF	24	1000	MECH	PSF	24	1000	MECH	PSF	24	1000	MECH	PSF
25	1000	MECH	PSF	25	1000	MECH	PSF	25	1000	MECH	PSF	25	1000	MECH	PSF
26	1000	MECH	PSF	26	1000	MECH	PSF	26	1000	MECH	PSF	26	1000	MECH	PSF
27	1000	MECH	PSF	27	1000	MECH	PSF	27	1000	MECH	PSF	27	1000	MECH	PSF
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29	1000	MECH	PSF	29	1000	MECH	PSF	29	1000	MECH	PSF	29	1000	MECH	PSF
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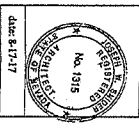


Roof Lighting Plan  
SC. 1/4" = 1'-0"

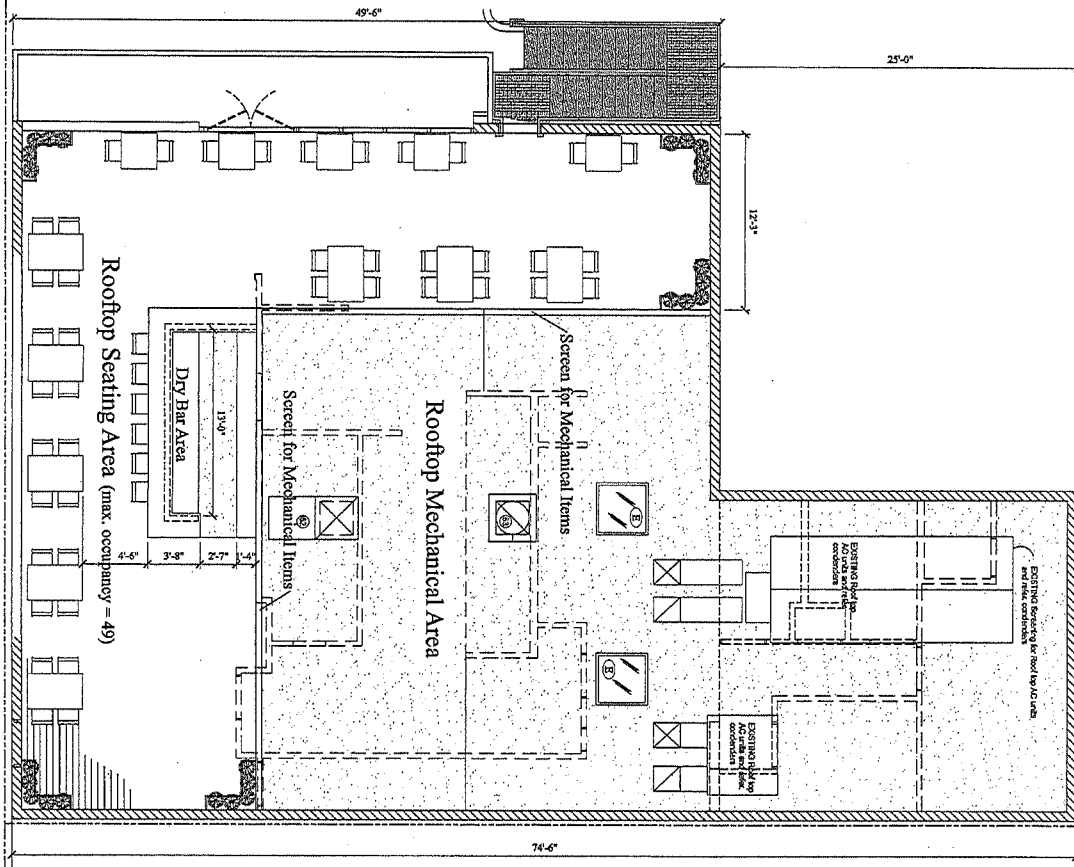


Revised By \_\_\_\_\_  
 JOSEPH W. SNIDER ARCHITECT  
 2212 LONGWOOD DRIVE  
 RENO, NV. 89509 (775) 827-8713  
 ARCHITECT

Sizzle Pie  
 190 Center St.  
 Reno, Nv 89502

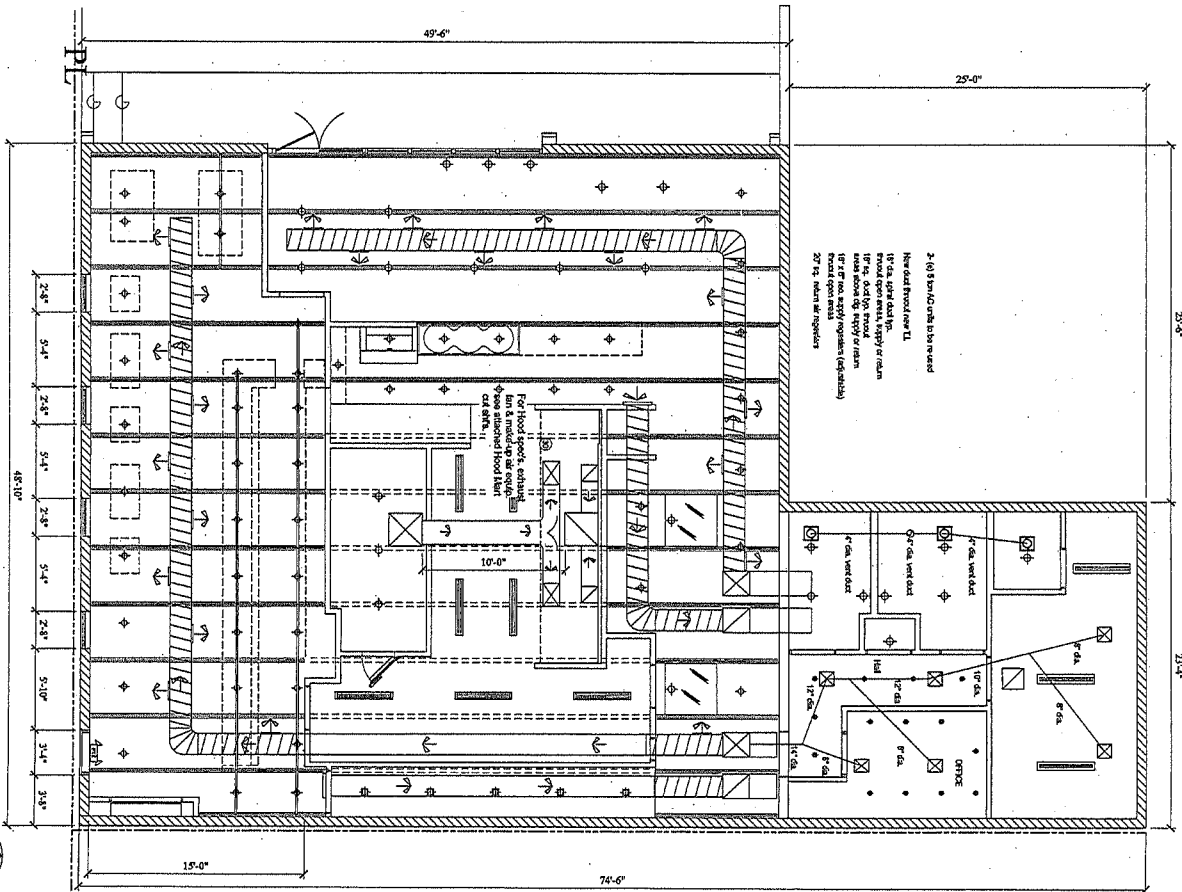


e2



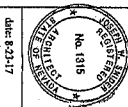
Roof & Roof Mechanical Plan

SC 1/4" = 1'-0"



Reflected Clg. Mechanical Plan

SC 1/4" = 1'-0"



Sizzle Pie  
190 Center St.  
Reno, Nv 89502

JOSEPH W. SNIDER ARCHITECT  
2212 LONGWOOD DRIVE  
RENO, NV. 89509 (775) 827-8713

Revised By  
3/21/07 JS

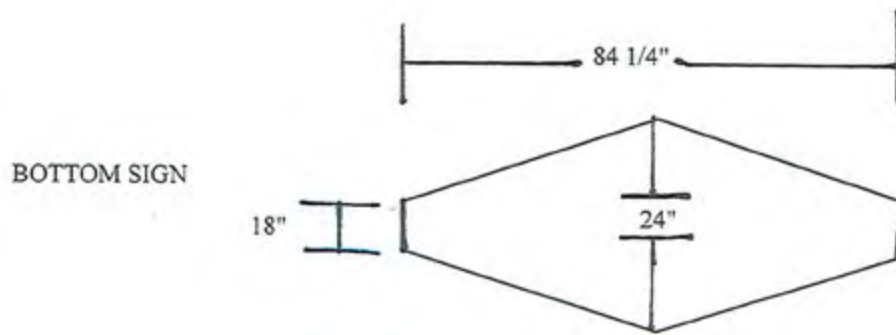
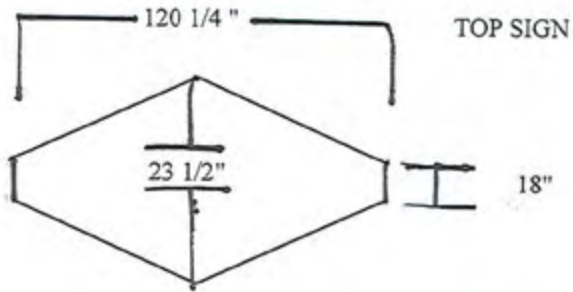
m

## Sizzle Pie Signs



### *Existing Signage*

- 1) **WEST ELEVATION** 33'6" x 48" illuminated cabinet, retrofit bulbs to LED, refaced with "Sizzle Pie" logo, "Famous Pizza" and "Open Late"
- 2) **SOUTH ELEVATION** 36'6" x 50.5" refaced with "The Black Crystal". The pic is a placeholder for our branding which is coming soon.
- 3) **ROTATING PYLON** 120.25" x 25.5" and 84.25" x 24" refaced with a neon star. Currently the motor is seized and it may or may not rotate depending on the rehab.





**EAT PIZZA EVERY DAY**





**LEASING OPPORTUNITIES**  
(775) 233-0913 | [www.CenterPine.com](http://www.CenterPine.com)  
*Center Pine*

Center Pine  
Commercial Real Estate  
Leasing Opportunities





**LEASING**  
(775) 2



## The Planning Commission finds:

- a. The proposed use is compatible with existing surrounding land uses and development.
- b. The project is in substantial conformance with the master plan.
- c. There are or will be adequate services and infrastructure to support the proposed development.
- d. The proposal adequately mitigates traffic impacts of the project and provides a safe pedestrian environment.
- e. The proposed site location and scale, intensity, density, height, layout, setbacks, and architectural and overall design of the development and the uses proposed, is appropriate to the area in which it is located.
- f. The project does not create adverse environmental impacts such as smoke, noise, glare, dust, vibrations, fumes, pollution or odor which would be detrimental to, or constitute a nuisance to area properties.
- g. Project signage is in character with project architecture and is compatible with or complementary to surrounding uses.
- h. The structure has been designed such that the window placement and height do not adversely affect the privacy of existing residential uses.